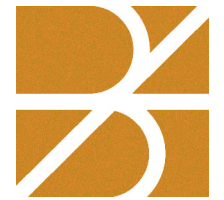


Roof Flashing Repairs Perry Public Library

70 North Main Street
Perry, New York 14530

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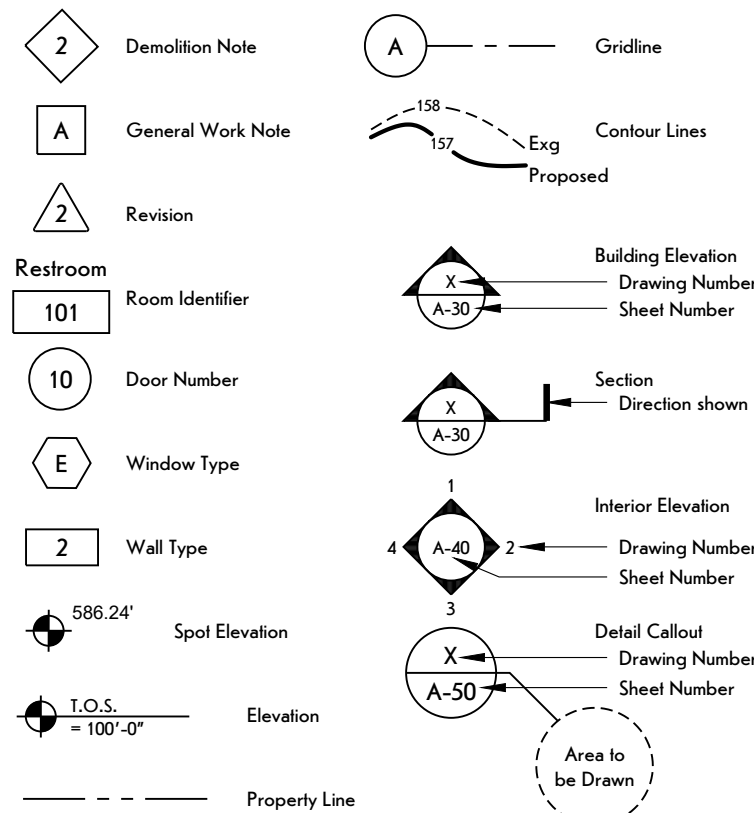
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ABBREVIATIONS:

abv	Above	ea	Each	lf	Linear Foot	rev	Revision/Revised
aff	Above Finish Floor	elec	Electrical	lvl	Laminated Veneer Lumber	rd	Roof Drain
addl	Additional	elev	Elevation			rm	Room
adj	Adjust / Adjacent	eq	Equal			ro	Rough Opening
a/c	Air Conditioning	equip	Equipment	mfr	Manufacturer	rbr	Rubber
alt	Alternate	exh	Exhaust	mo	Masonry Opening	san	Sanitary
al	Aluminum	expj	Existing Expansion Joint	mat	Material	shth	Sheathing
approx	Approximate	ext	Exterior	max	Maximum	shr	Shower
				mech	Mechanical	sim	Similar
bsmt	Basement			ml	Metal	spec	Specification
brg	Bearing	fof	Face Of Finish	min	Minimum	sf	Square Foot
bm	Bench Mark	fom	Face Of Masonry	misc	Miscellaneous	std	Standard
btwn	Between	fos	Face Of Studs			stn	Stain(ed)
blkg	Blocking	fin	Finish(ed)	nom	Nominal	ss	Stainless Steel
bd	Board	fc	Finish Coat	n/a	Not Applicable	stl	Steel
bw	Both Ways	flr	Floor	nic	Not In Contract	strl	Structural
bot	Bottom	fd	Floor Drain	nts	Not To Scale	susp	Suspended
brdg	Bridging	ft	Foot or Feet	no. #	Number		
bldg	Building	ftg	Footing			tmpd	Tempered
		fnd	Foundation	oc	On Center	thk	Thickness
cab	Cabinet	frz	Freezer	opng	Opening	t&g	Tongue and Groove
cpt	Carpet	furn	Furnace	opp	Opposite	tof	Top Of Foundation
csmt	Casement			oz	Ounce	topl	Top Of Plate
cb	Catch Basin	galv	Galvanized	od	Outside Diameter	tos	Top Of Steel
clg	Ceiling	ga	Gauge	ovhd	Overhead	tow	Top Of Wall
ctr	Center	gl	Glass or Glazing	pr	Pair	trans	Transparent
c/c	Center to Center	gfi	Ground Fault Interrupter	pnl	Panel	typ	Typical
ct	Ceramic Tile	gpdw	Gypsum Drywall	pnt	Paint(ed)	uon	Unless Otherwise Noted
co	Clean Out			d	Penny (nails)		
clos	Closet	hcp	Handicap	perf	Perforated	vr	Vapor Retarder
col	Column	hdw	Hardware	plas	Plaster	vif	Verify In Field
concr	Concrete	hdr	Header	p lam	Plastic Laminate	vert	Vertical
cmu	Concrete Masonry Unit	hgt	Height	pl	Plate		
csjt	Construction Joint	htr	Heater	pld	Plywood		
cont	Continuous	hvac	Heating / Ventilation / Air Conditioning	pvc	Polyvinyl Chloride	wc	Water Closet
cjt	Control Joint			psf	Pounds per Square Foot	wp	Waterproof
cu	Copper	hm	Hollow Metal	psi	Pounds per Square Inch	wt	Weight
cmp	Corrugated Metal Pipe	horiz	Horizontal	pt	Pressure Treated	wwf	Welded Wire Fabric
crs	Courses	hb	Hose Bib	prov	Provide	w/	With
						w/o	Without
det	Detail	in	Inch	qty	Quantity	wd	Wood
dia	Diameter	id	Inside Diameter	qt	Quarry Tile		
dim	Dimension	insul	Insulation				
dw	Dishwasher	int	Interior	rad	Radius		
dbl	Double	inv	Invert	refr	Refrigerator		
dh	Double Hung (Window)	isjt	Isolation Joint	reinf	Reinforce(d)/Reinforcing		
dn	Down			rcp	Reinforced Concrete Pipe		
ds	Downspout	jt	Joint	rvt	Reinforced Vinyl Tile		
dwg	Drawing	jst	Joist	reqd	Required		
df	Drinking Fountain	lav	Lavatory	ra	Return Air		

SYMBOLS:



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CLIENT / OWNER:

Perry Public Library
70 North Main Street
Perry, NY 14530

PROJECT INFORMATION:

Roof Flashing Repairs
Perry Public Library
70 N. Main St., Perry, New York

PROJECT #: 18011

ISSUE DATE: 3/18/25

DRAWN BY: TTN

SCALE: N/A

SHEET TITLE:

Title Sheet

SHEET NUMBER:

T-1

1. General Notes:

1.1 Summary: The work consists of roofing repairs at the Perry Public Library, 70 N. Main Street, Perry, NY 14530. All work shall comply with the Building Code of New York State and local regulations.

1.2 Collect waste daily and dispose of waste off-site, according to local ordinances, when containers are full. It is not anticipated that hazardous materials will be encountered during the work. If such materials are encountered, dispose of the material(s) according to applicable laws and regulations.

1.3 Do not cut structural members without proper shoring and bracing. For patching, provide materials whose installed performance will equal or surpass that of the existing material(s). For exposed surfaces, provide for finish materials to visually match existing adjacent surfaces.

1.4 Comply with manufacturer's written instructions for installation techniques. Anchor each product securely in place, accurately located and aligned. Clean exposed surfaces and protect from damage. If applicable, prepare surfaces for field finishing.

1.5 Selective Demolition: Unless otherwise indicated, demolished materials become the contractor's property. Promptly remove demolished materials from owner's property and legally dispose of them. Do not burn demolished materials. Conduct demolition without disrupting owner's occupation of the building/site.

1.6 Maintain and protect existing utilities to remain in service before proceeding with demolition, providing bypass connections to other parts of the building. Locate, identify, shut off, disconnect and cap off utility services to be demolished.

1.7 Conduct demolition operations and remove debris to prevent injury to people and damage to adjacent buildings and site improvements.

2. Site Work: N/A

3. Concrete: N/A

4. Masonry: N/A

5. Metals: N/A

6. Carpentry:

6.1 Framing Lumber: Dressed lumber, S4S, 15% max moisture content. Hem-fir, select structural.

6.2 Preservative Treated Lumber: AWWA C2 lumber and AWWA C9 plywood, 15% moisture content. Preservative treated material shall be used for wood members in connection with roofing, flashing, vapor retarders, and waterproofing. Also for concealed members in contact with masonry or concrete.

6.3 Fasteners: Where rough carpentry is exposed to weather, in ground contact, or in area of high relative humidity, provide fasteners with hot-dip zinc coating or stainless steel.

6.4 Fit rough carpentry to other construction; scribe and cope for accurate fit. Correlate location of furring, blocking and similar supports to allow attachment of other construction.

7. Thermal & Moisture Protection:

7.1 Roof Tiles:

Allowance: Spanish S-Design clay tile units to match existing shape and color.

7.2 SHEET METAL FLASHING:

7.2.1 SHEET METALS

- A. General: Protect mechanical and other finishes on exposed surfaces from damage by applying strippable, temporary protective film before shipping.
- B. Copper Sheet: ASTM B 370, cold-rolled copper sheet, H00 or H01 temper.
7. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. Hussey Copper Ltd.
 - b. Revere Copper Products, Inc.

7.2.2 UNDERLAYMENT MATERIALS

- A. Felt Underlayment: ASTM D 226, Type II (No. 30), asphalt-saturated organic felts.
- B. Waterproof Underlayment: High Temperature Grade Water Barrier Underlayment: Cold applied, self-adhering membrane composed of a high density, cross laminated polyethylene film coated on one side with a layer of butyl rubber or high temperature asphalt adhesive. Provide primer when recommended by water barrier manufacturer.
1. Acceptable Products: Subject to compliance with requirements, provide one of the following:
 - a. Henry Company; Blueskin PE 200 HT.
 - b. Grace Construction Products (W.R. Grace & Co.); Ultra.
 - c. Carlise Coatings and Waterproofing; CCW MiraDRI WIP 300 High Temperature.
2. Minimum Thickness: 30 mil.
3. Tensile Strength: ASTM D 412 (Die C Modified); 250 psi.
4. Membrane Elongation: ASTM D412 (Die C Modified); 250%.
5. Permeance (Max): ASTM E96; 0.05 Perms.
6. Thermal Stability: ASTM D 1970; stable after testing at 240 deg F or higher.
7. Low-Temperature Flexibility: ASTM D 1970; passes after testing at minus 20 deg F or lower.
- A. Separation Sheet: Minimum 5 lb/100 sq. ft., rosin sized. Two layers of 3 lb/100 sq. ft. may be used.

7.2.3 MISCELLANEOUS MATERIALS

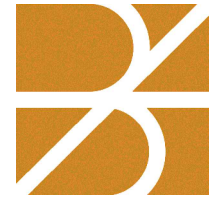
- A. General: Provide materials and types of fasteners, solder, protective coatings, sealants, and other miscellaneous items as required for complete sheet metal flashing and trim installation and as recommended by manufacturer of primary sheet metal unless otherwise indicated.
1. Fasteners for Copper Sheet: Copper, hardware bronze or passivated Series 300 stainless steel.
- B. Solder for Copper: ASTM B 32, Grade Sn50, 50 percent tin and 50 percent lead with maximum lead content of 0.2 percent.
- C. Flux: Muriatic acid neutralized with zinc or approved brand of soldering flux.

7.2.4 ROOF-DRAINAGE SHEET METAL FABRICATIONS (Alternate No. 3)

- A. Hanging Gutters: Fabricate to cross section required, complete with end pieces, outlet tubes, and other accessories as required. Fabricate in minimum 96-inch-long sections. Furnish flat-stock gutter brackets and gutter spacers and straps fabricated from same metal as gutters, of size recommended by cited sheet metal standard but with thickness not less than twice the gutter thickness and as shown on Drawings. Fabricate expansion joints, expansion-joint covers, and gutter accessories from same metal as gutters. Shop fabricate interior and exterior corners.
 1. Copper: 20 oz./sq. ft.
 2. Accessories: Bronze Wire-ball downspout strainer.
- B. Downspouts: Fabricate corrugated round downspouts to dimensions indicated, complete with mitered elbows. Furnish with metal hangers from same material as downspouts and anchors. Shop fabricate elbows. Solder longitudinal seam.
 1. Hanger Style: Custom fabricated; 1-inch wide strap hanger fastened to wall with fasteners appropriate for wall material. Hanger shall include brace between downspout and wall as per Drawings.
 2. Fabricate from the following materials:
 - a. Copper: 20 oz./sq. ft.
 - b. 3-inch corrugated-round.
- A. Conductor Heads: Fabricate conductor heads with flanged back and stiffened top edge and of dimensions and shape required, complete with outlet tubes. Fabricate from the following materials:
 1. Copper: 20 oz./sq. ft..

7.2.5 STEEP-SLOPE ROOF SHEET METAL FABRICATIONS

- A. Valley Flashing: Fabricate from the following materials:
 1. Copper: 16 oz./sq. ft..
- B. Alternate No. 1: Eave Flashing: Fabricate from the following materials:
 1. Copper: 16 oz./sq. ft.



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CLIENT / OWNER:

Perry Public Library
70 North Main Street
Perry, NY 14530

PROJECT INFORMATION:

Roof Flashing Repairs
Perry Public Library
70 N. Main St., Perry, New York

PROJECT #: 18011

ISSUE DATE: 3/18/25

DRAWN BY: LMY

SCALE: N/A

SHEET TITLE:

Specifications

SHEET NUMBER:

SP-1




SCOPE OF WORK:

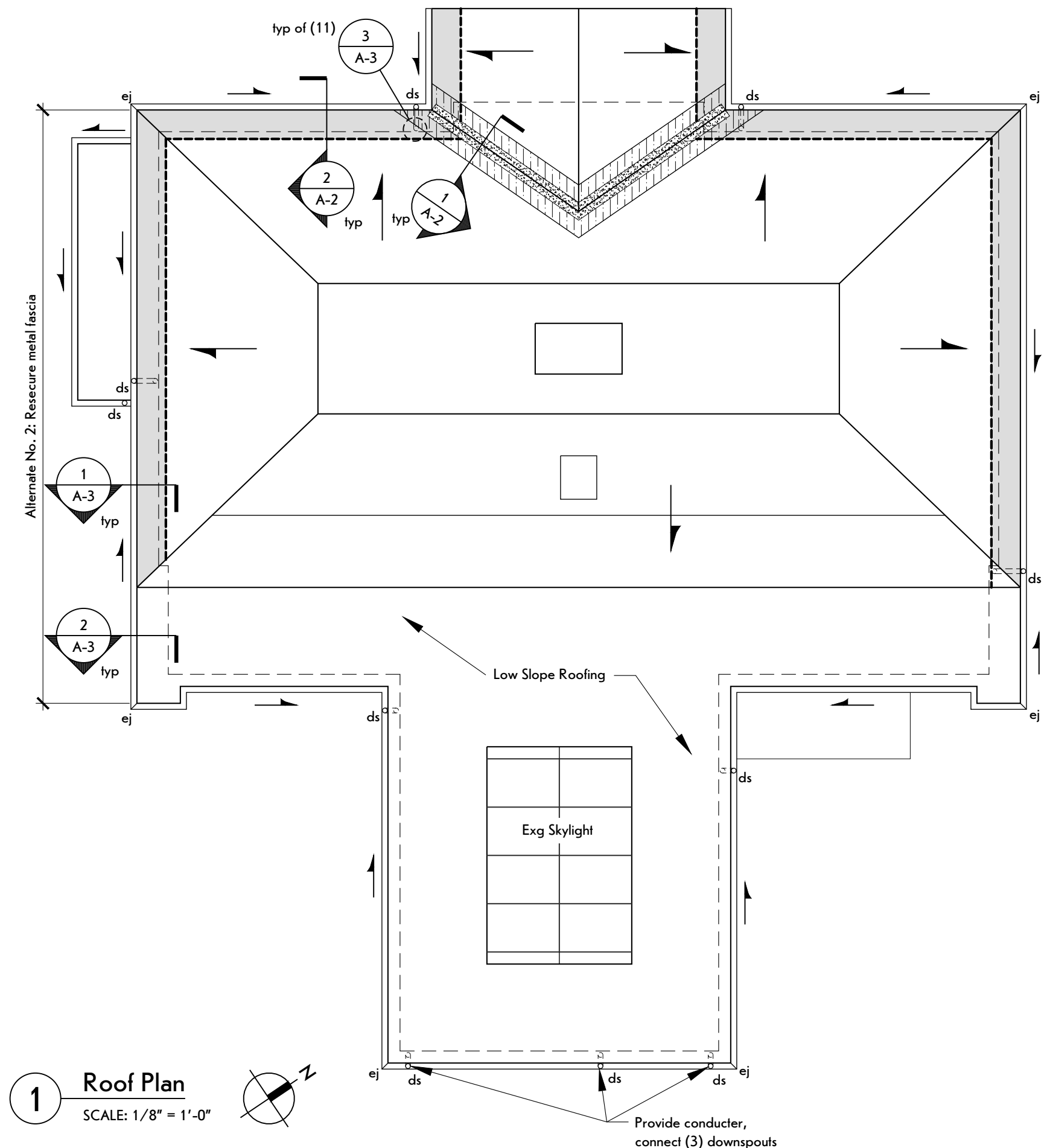
1. Base bid: Carefully remove two feet of barrel tile on each side of the two (2) valleys. remove existing flashing to the roof deck, replace deteriorated tongue and groove roof decking (allow for 50% replacement at each location), provide waterproof underlayment, copper valley flashing, and reinstall salvaged tile. Refer to detail 1/A-2.
2. Allowance: Provide an allowance for twenty (20) replacement barrel tiles to match existing. Survey roof and replace broken tiles in the field of the roof and at the completion of the work return any remaining tile to Owner's storage.
3. Alternate No. 1: Remove and salvage existing aluminum gutters for reinstallation. Remove two courses of tile along the roof edge, install flashing, refer to 2/A-2, and reinstall aluminum gutter.
4. Alternate No. 2: Re-secure failing metal fascia on south facade of the Library.
5. Alternate No. 3: Replace existing gutters with copper, refer to details, 1, 2, and 3/A-3.

General Notes:

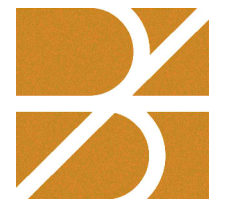
1. Obtain building permit through authority having jurisdiction is required.
2. Final layout for access and staging area shall be reviewed, coordinated, and approved by Owner.
3. Protect existing vegetation and site improvements, including but not limited to: trees, grass, and vegetation. Limit foot and vehicular traffic on landscaped and grass areas, typical.
4. Protect existing building, steps, walks, roofing, windows, etc. from construction activities.
5. Restore site to existing conditions at completion of project. Restore damaged improvements, if necessary, as acceptable to Owner.
6. Maintain access to all existing entrances. The building will be open to the public during construction.
7. Protect storm water hubs during construction. Snake and clean existing storm water system at completion of work.

Key:

	Sheet metal flashing
	Waterproof underlayment
	Extent of Alternate No. 1
ds	Downspout



1 Roof Plan
SCALE: 1/8" = 1'-0"



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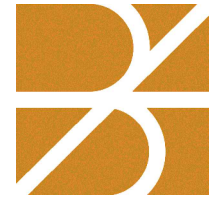
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SHEET TITLE:

**Roof Plan
and Notes**

SHEET NUMBER:

A-1



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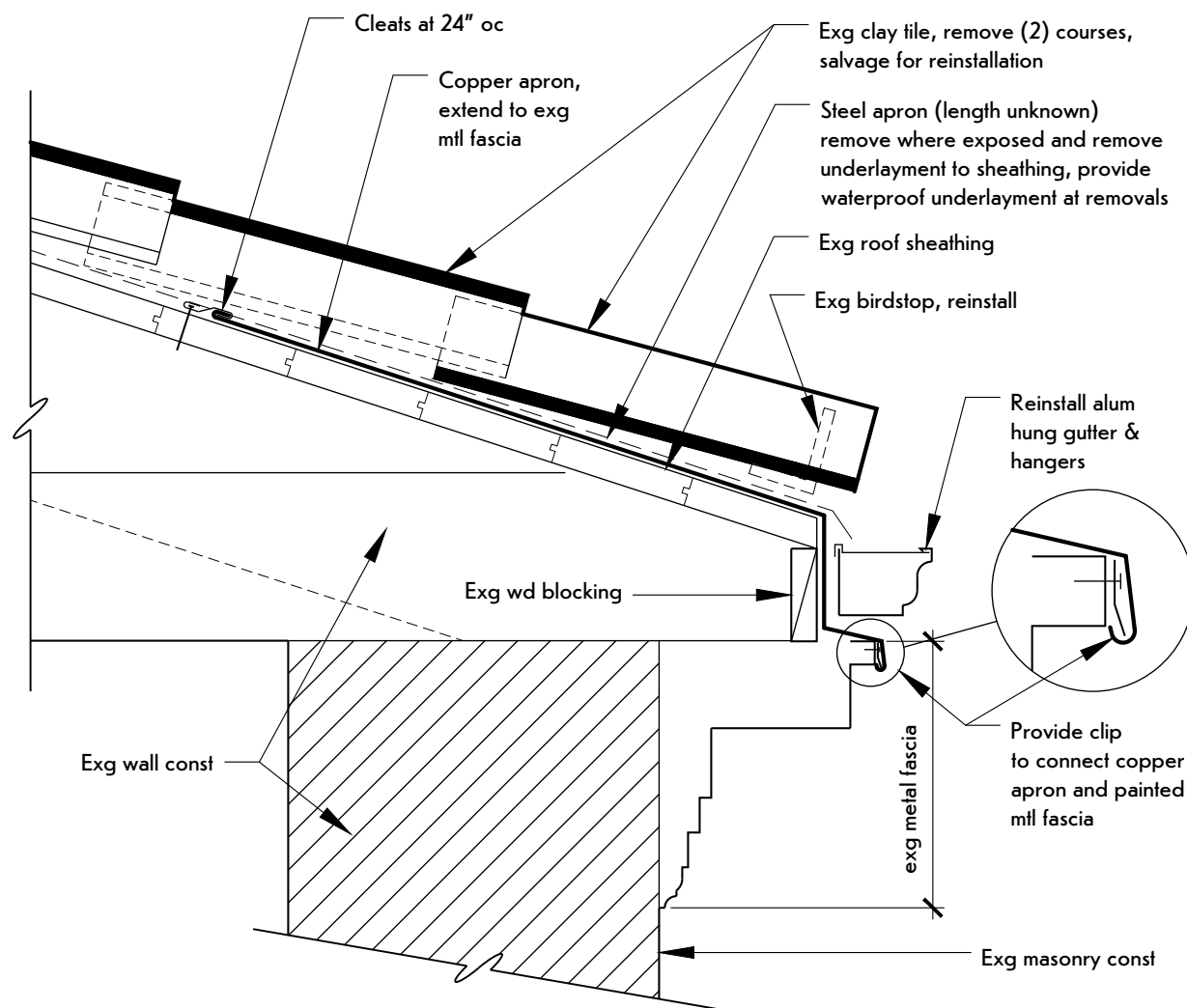
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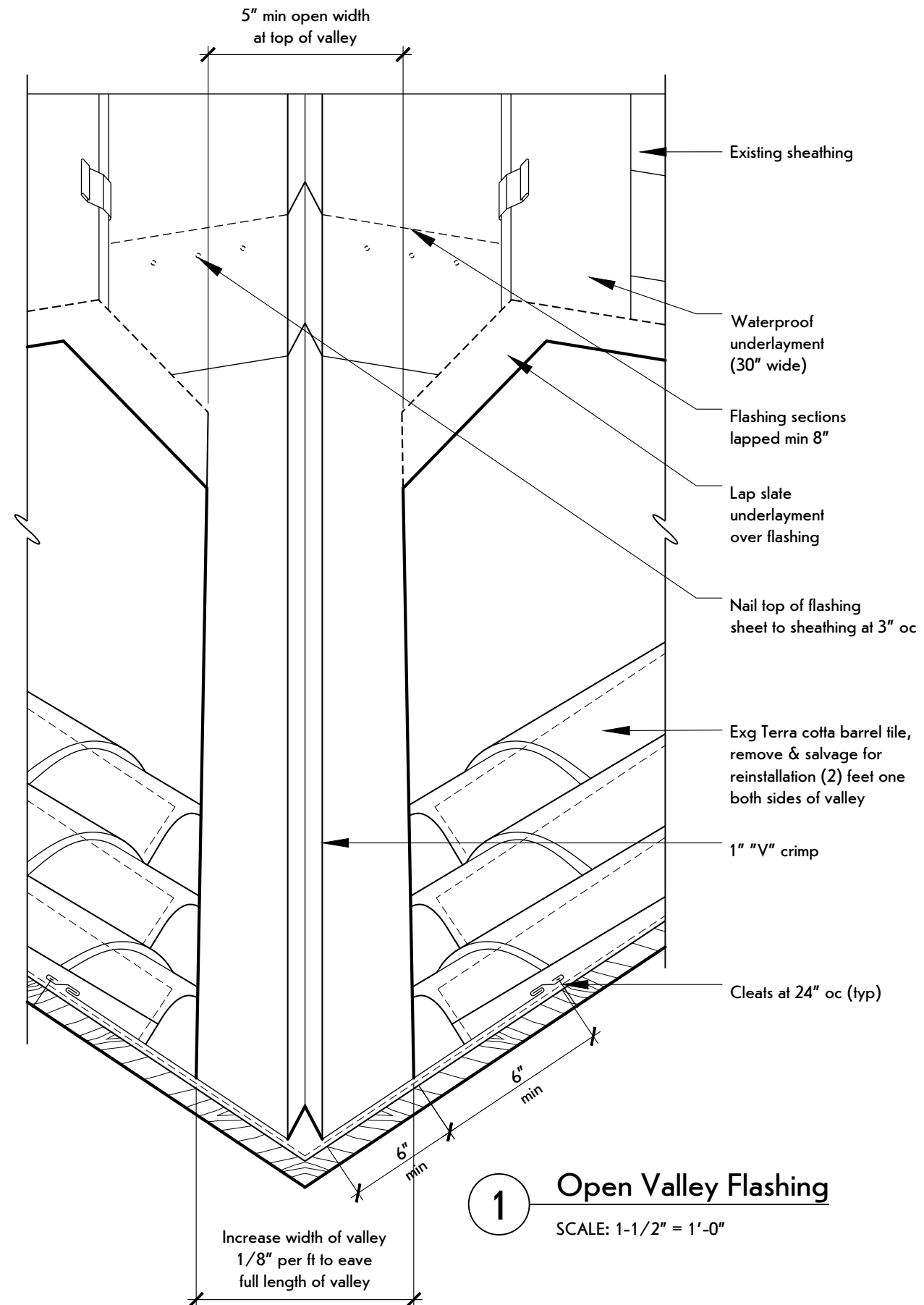
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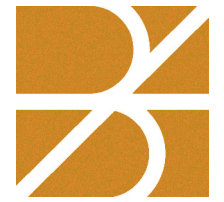
A-2



2 Eave Detail
SCALE: 1-1/2" = 1'-0"



1 Open Valley Flashing
SCALE: 1-1/2" = 1'-0"



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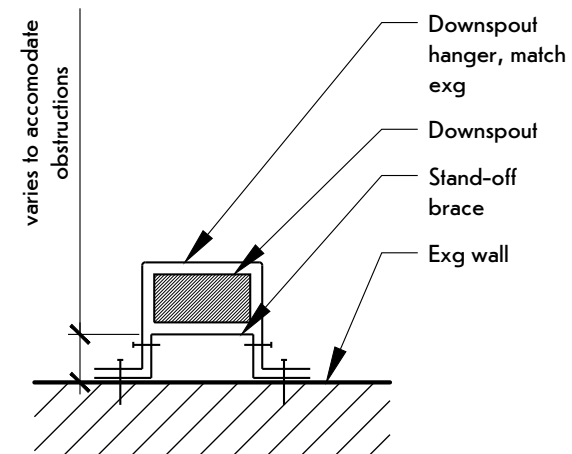
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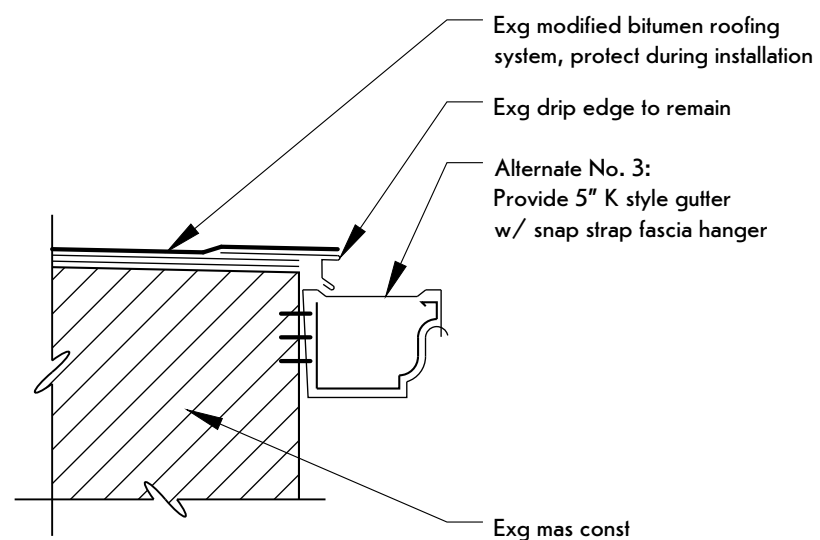
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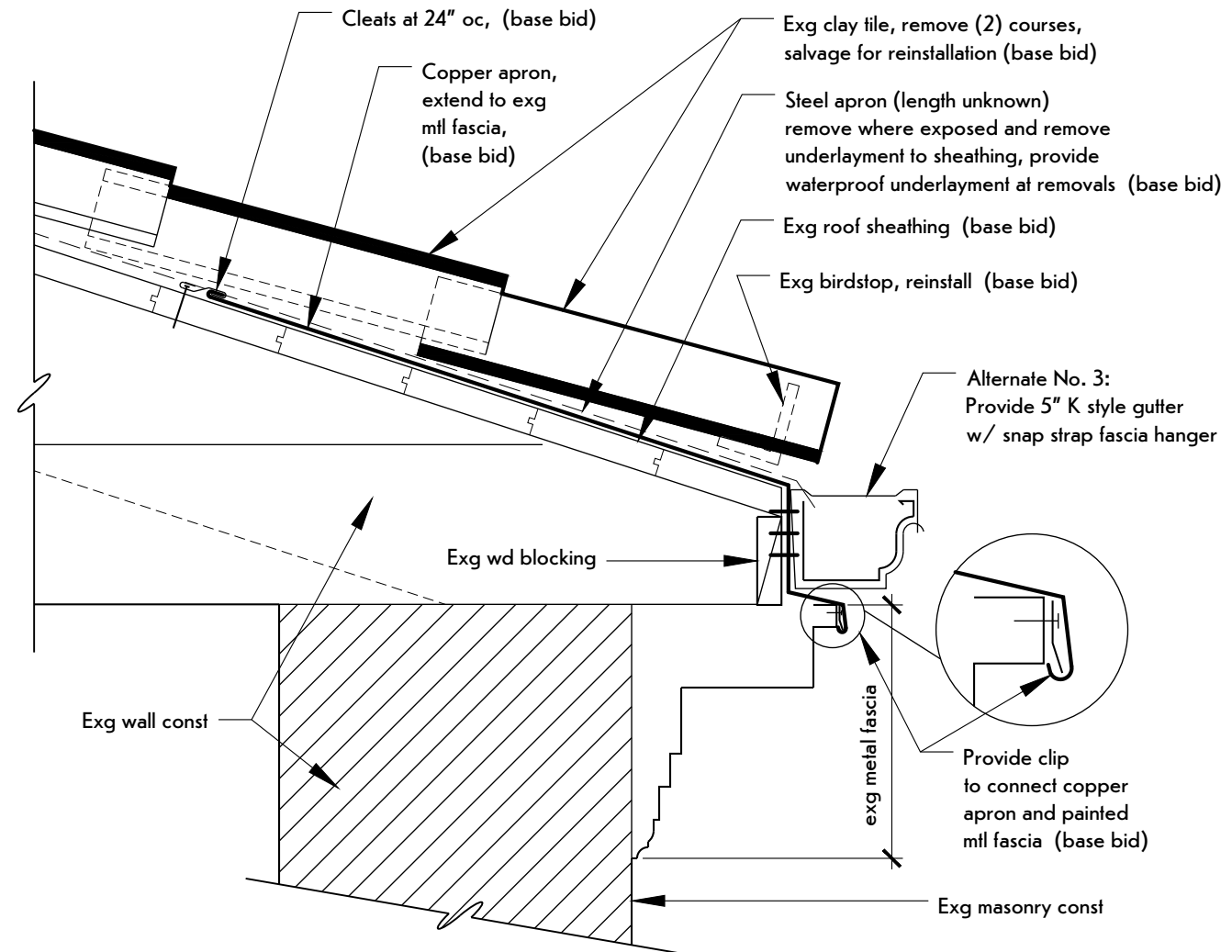
A-3



3 Downspout Hanger Detail
SCALE: 1-1/2" = 1'-0"



2 Alternate No. 3 Eave Detail
SCALE: 1-1/2" = 1'-0"



1 Alternate No. 3 Eave Detail
SCALE: 1-1/2" = 1'-0"